

DEVELOPMENT REVIEW BOARD REPORT



MEETING DATE: March 24, 2005

ITEM NO. 9

CASE NUMBER/ PROJECT NAME	5-DR-1977#3 Indian School Park Renovations and Club SAR Expansion		
LOCATION	4415 N Hayden Rd		
REQUEST	Request site plan & elevations approval for the expansion of the indoor training facilities and minor modifications to Club SAR and to renovate the existing outdoor practice facilities and fields.		
OWNER	City of Scottsdale 480-312-7064	ENGINEER	
ARCHITECT/ DESIGNER	Hok Sport & Venue & Event	APPLICANT/ COORDINATOR	Bill Verschuren City of Scottsdale 480-312-7734
BACKGROUND	<p>Zoning. The site is zoned Open Space (O-S) that permits a park and municipal uses.</p> <p>Context. The existing Indian School Park, including the Club SAR, is located on the southeast corner of Camelback Rd. and Hayden Rd. The park is within the Indian Bend Wash corridor. The park is surrounded with a variety of streets and land uses. To the north is Camelback Rd, further beyond is the Monterey Golf Course also zoned open space. Apartments and townhomes zoned multi-family residential, border the east property line of the park. To the south are commercial zoned properties consisting of convenience stores and restaurants. Hayden Rd. and the remaining portions of the Indian Bend Wash are found on the west side of the park.</p> <p>History. In 1977 the Development Review Board reviewed and approved the Indian School Park site plan. The San Francisco Giants have conducted Spring Training activities at the park since 1982. The City has approved a variety of cases modifying and adding more facilities to the park for the general public and the Giants since 1977. On March 15, 2005, the City Council approved the funding and construction of additional renovations and improvements to the park.</p>		
APPLICANT'S PROPOSAL	<p>Applicant's Request. The request is for site plan and elevations approval to renovate and enlarge the existing indoor training facilities adjacent to the existing Club SAR and to re-</p>		

construct the four existing practice fields, including expanding the lights from one field to all four.

Development Information:

- Existing Use: park and associated facilities
- Parcel Size: 21.8 acres
- Additional Square Footage: approx. 8,000 sq. ft. (new training facility)
- Renovated Square Footage: approx 12,000 sq. ft. (in training facility)
- Existing Square Footage: approx 12,000 sq. ft. (Club SAR)
- Total Square Footage: approx. 32,000 sq. ft.

DISCUSSION

The existing baseball training building, located at the northeast corner of the park, will be renovated and expanded to include two locker rooms, complete professional training/conditioning facilities, offices, equipment rooms, dining, laundry, and storage areas. The new additions will not affect the operation of the current Club SAR facility, but will remove and add some space within it. The area to be occupied by the new additions is currently landscape areas on the north and a patio area on the west side of the existing building. The new additions will use the similar modern design and maintain the architectural character, materials, and colors as the existing building. The applicant will salvage as much of the existing materials for re-use, especially the metal archways.

The first story portions of the buildings will maintain the painted (dark beige) split-faced block with a horizontal band of painted stucco (light beige) and the second story will maintain the painted stucco (light beige). The main entrance on the north side of the building will be replaced with two entrances, one specifically for the Giants organization located in the middle of the façade and one for the Club SAR members located on the east side of the facade. These entrances will be featured with a metal archway (bluish teal for Club SAR and forest green for the Giants) held up by concrete columns, like the existing entrance, to create a visual focus for the building and to direct customers to the entrances. The west elevation will also add a metal archway (forest green), providing shade for the patio area. The glass block found within the first floor horizontal band will be maintained throughout the building as well as the same glass windowpanes on the rest of the building. New doors, railing, roll-up doors, and roof coping bands at the top of each story will maintain the existing color (dark russet brown).

The four existing ball fields will be completely reconstructed to improve drainage and playability after rainfall. The reconstruction will include the practice infield, fencing, gates, dugouts, and paved player access between the training facility and field facilities. Lights will also be added to the fields #2, #3, and #4 that is consistent with the Indian School Park site plan approved in 1977. Field #2 will have the same field dimensions and a right field wall (approximately 20 to 25 ft. tall) that matches the Giants SBC Park in San Francisco. Reconfiguration of practice pitching mounds, batting cages, and restrooms (dependent on the floodplain considerations) will occur between fields #1 and #2 and between fields #3 and #4. The existing batting tunnel, adjacent to the parking lot will be enclosed and air- conditioned. A new perimeter fence will

be constructed around the entire facility enclosing the fields, the half field, batting tunnels, clubhouse training facilities, and 30 to 40 of the existing parking space. The fencing will be a variety of masonry columns with wrought iron to match the Stadium fencing, vinyl coated chain link fence, and chain link fence. Club SAR members will still have access to 100 parking spaces that meets Club SAR requirements.

The new expansion and improvements to the park facilities will still provide pedestrian access from the north end of the park to the south end of the park. Pedestrian paving improvements throughout the park will be replaced and or enhanced to improve connections. All new plant materials used will maintain general mix of plants currently used at the park.

RELATED CASES

13-Z-77, 5-DR-77, 47-DR-78, 67-ZN-80, 184-DR-84, 35-UP-88, 117-DR-88, 5-DR-77#2, and 38-DR-94.

STAFF
RECOMMENDATION

Staff recommends approval, subject to the attached stipulations.

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APPROVED BY

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Report Author

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General Manager
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ATTACHMENTS

1. Context Aerial
- 2A. Aerial Close-Up
3. Zoning Map
4. Indian School Park Site Plan
5. Scottsdale Spring Training Enlarged Site Plan
6. Scottsdale Spring Training North Elevation (existing and renovated)
7. Scottsdale Spring Training West Elevation (existing and renovated)
8. Scottsdale Spring Training South Elevation (renovated)
9. Scottsdale Spring Training East Elevation (renovated)
10. Hayden Road Elevation of Fields
11. Scottsdale Spring Training and Club SAR Lower Level Floor Plan
12. Scottsdale Spring Training and Club SAR Upper Level Floor Plan
13. Existing Batting Tunnel South Elevation
14. Existing Batting Tunnel North Elevation
- A. Fire Ordinance Requirements
- B. Stipulations/Zoning Ordinance Requirements



Club Sar Expansion

5-DR-1977#3

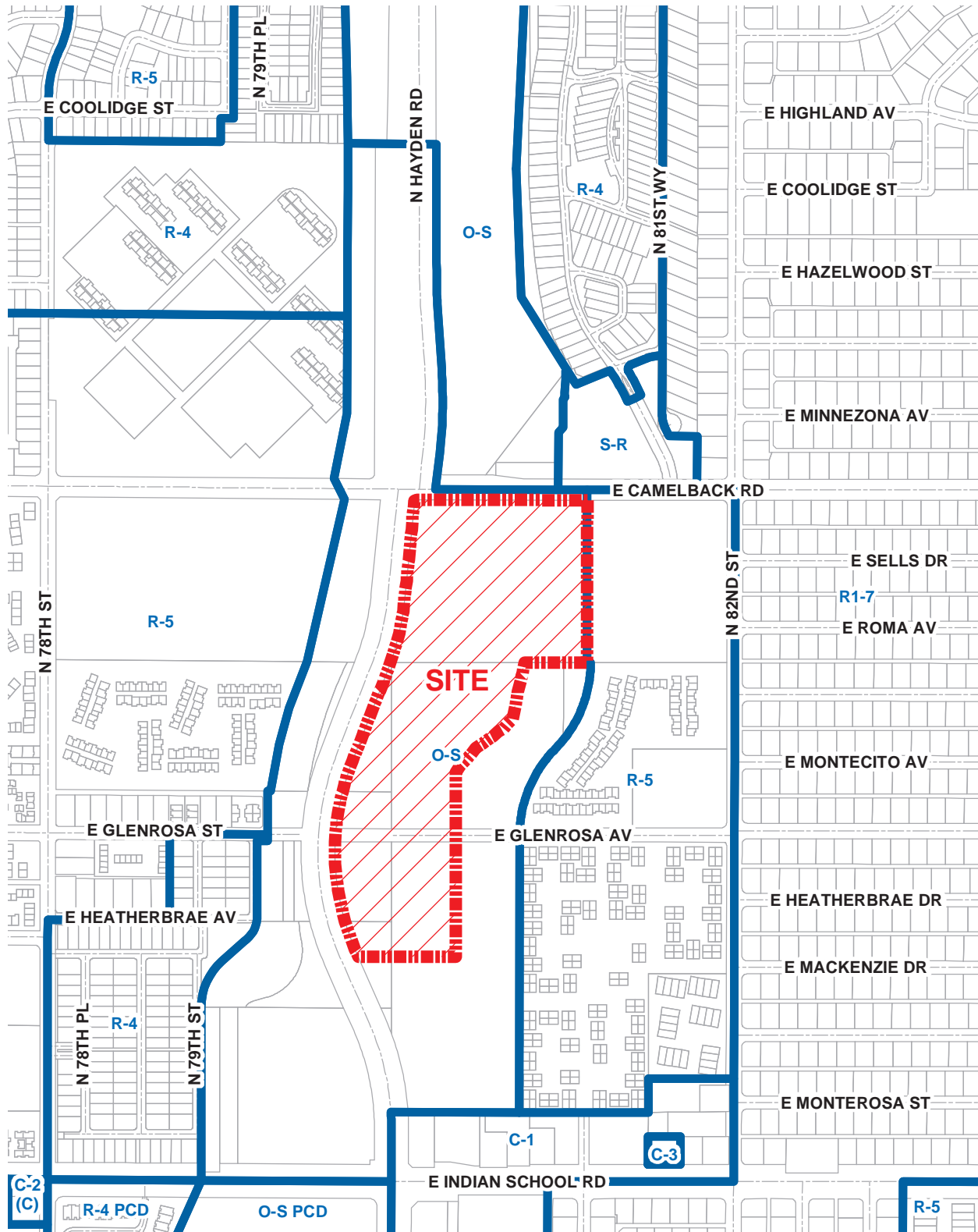
ATTACHMENT #2



Club Sar Expansion

5-DR-1977#3

ATTACHMENT #2A



5-DR-1977#3

ATTACHMENT #3



LEGEND

- A. Public Observation Area
- B. Existing Batting Tunnel Building
- C. Secured Player Parking (30-40 spaces)
- D. Relocated/ Reconstructed Gang Mounds
- E. Relocated/ Reconstructed Outdoor Batting Cages
- F. Existing Field Lighting
- G. Existing Training/Club SAR Footprint
- H. Training Facility Expansion
- I. 6' Paved Field Access
- J. Half Practice Field
- K. 8' Decorative Perimeter Fencing
- L. 8' Perimeter Fencing
- M. Redesigned Park Concourse
- N. Public Parking
- O. Relocated Pedestrian Path
- P. Existing Tower To Remain With Storage Added @ Ground Level
- Q. Restroom Building
- R. Natural Grass Area
- S. Dugouts
- T. Public Entry to Park Concourse

Note: Lighting For Fields 2,3,4 To Be Installed
Per Existing Masterplan

SCOTTSDALE SPRING TRAINING INDIAN SCHOOL PARK

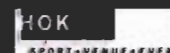
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SCOTTSDALE SPRING TRAINING
INDIAN SCHOOL SITE
ENLARGED SITE PLAN



03-18-05



Existing North Elevation



Proposed North Elevation

SCOTTSDALE SPRING TRAINING
INDIAN SCHOOL SITE
NORTH ELEVATION



03-18-05

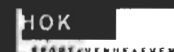


Existing West Elevation

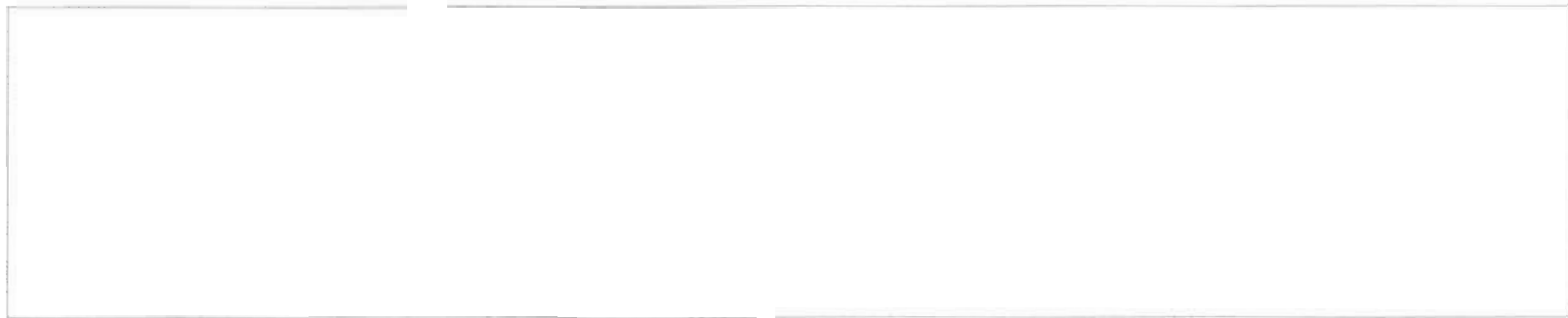


Renovated West Elevation

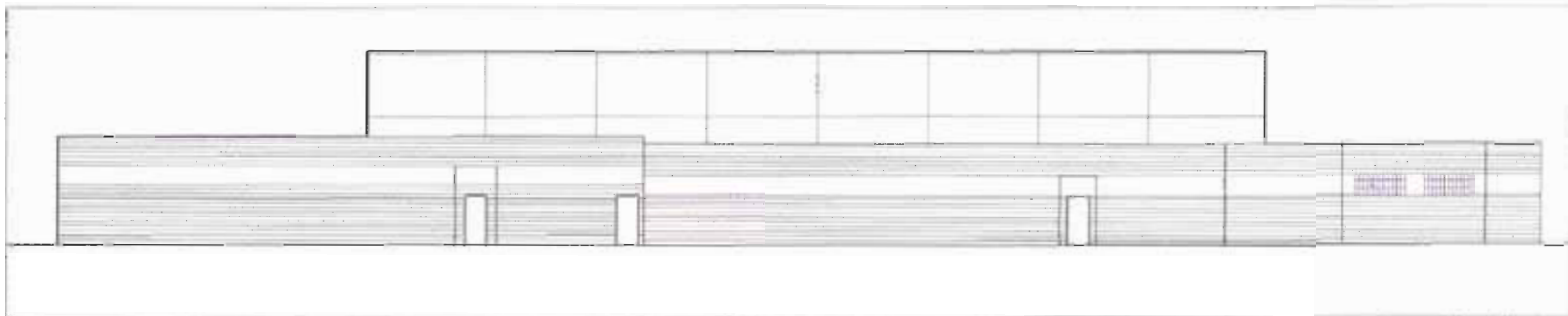
SCOTTSDALE SPRING TRAINING
INDIAN SCHOOL SITE
WEST ELEVATION



03-18-05



Existing South Elevation

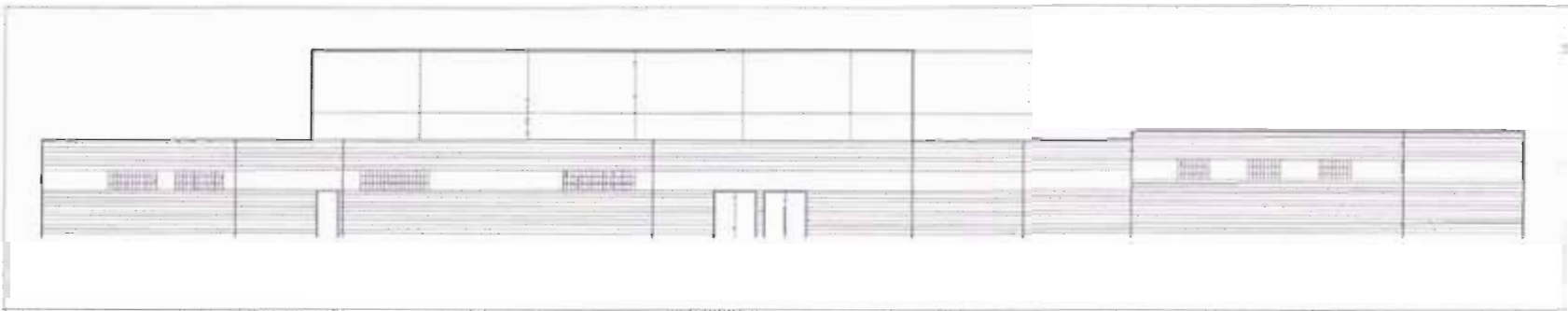


Renovated South Elevation

SCOTTSDALE SPRING TRAINING
INDIAN SCHOOL SITE
SOUTH ELEVATION



Existing East Elevation



Renovated East Elevation

SCOTTSDALE SPRING TRAINING
INDIAN SCHOOL SITE
EAST ELEVATION



03-18-05



SCOTTSDALE SPRING TRAINING
INDIAN SCHOOL SITE
WIRE FRAME ELEVATION/HAYDEN ROAD



03-18-05

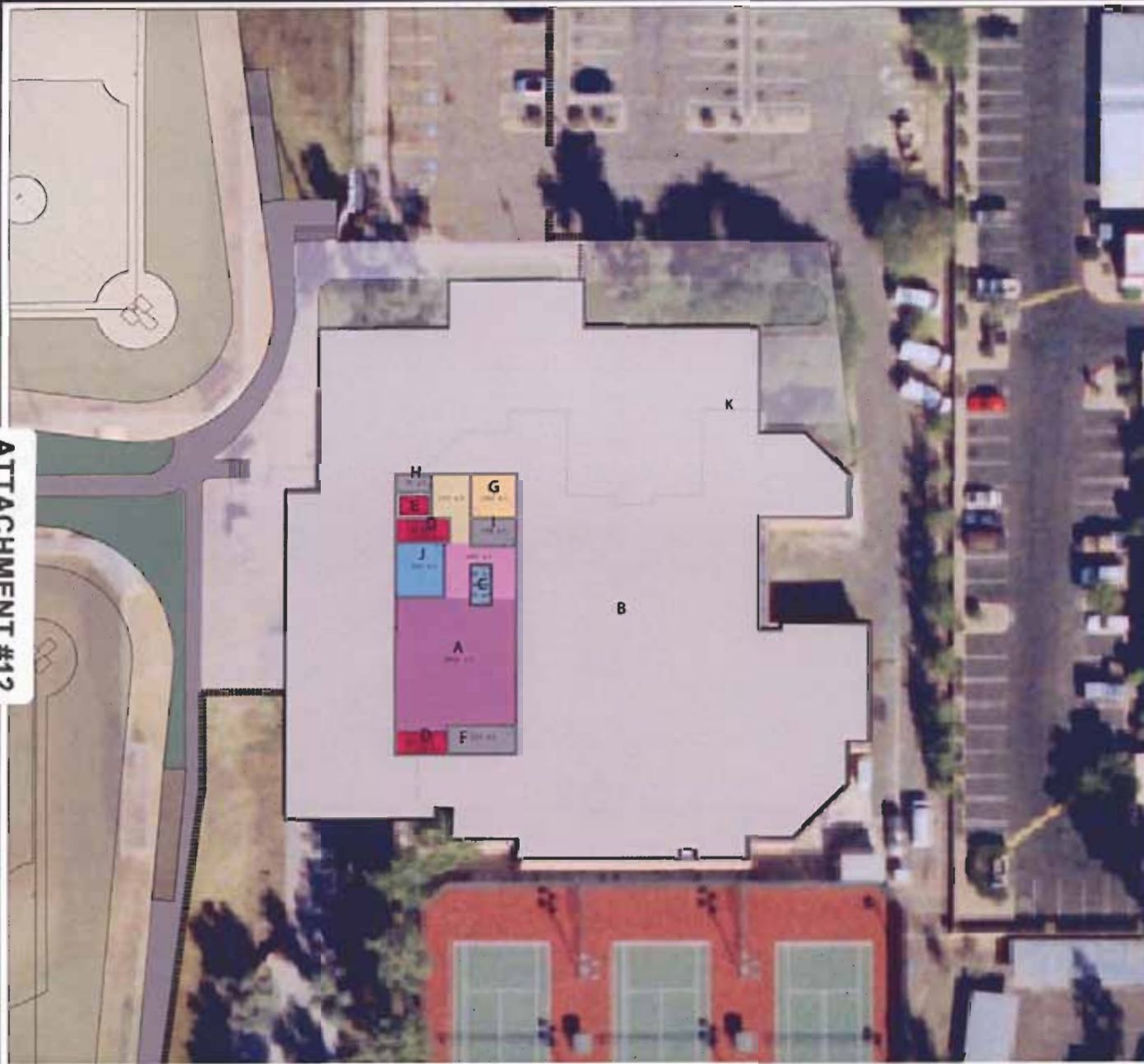


LEGEND

- A. Entry/Lobby
- B. Players' Locker Room#1
- C. Players' Locker Room #2
- D. Players' Grooming Area #1
- E. Players' Grooming Area #2
- F. Coaches' Locker Room
- G. Coaches' Grooming Area
- H. Manager's Grooming Area
- I. Manager's Locker Room
- J. Staff/Coaches Meeting Room
- K. Training Room
- L. Training Staff Office/Locker
- M. Team Doctor's Office/Exam Room
- N. Hydrotherapy Area
- O. Training Storage Room
- P. Weight Training Area
- Q. Equipment Room
- R. Laundry Room
- S. Videotape Room
- T. Press/Family Waiting
- U. Clubhouse Manager's Office
- V. Umpires' Locker Room
- W. Office
- X. Restroom
- Y. Stair
- Z. Elevator
- AA. Club SAR

SCOTTSDALE SPRING TRAINING INDIAN SCHOOL PARK ENLARGED FLOOR PLAN

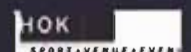




LEGEND

- A. Meeting/Dining Room
- B. Roof Area
- C. Restrooms
- D. Stair
- E. Elevator
- F. Storage
- G. Auxillary Office
- H. Elevator Room
- I. Electrical Room
- J. Pantry/Kitchen
- K. Line Of Existing Training Facility/ Club SAR

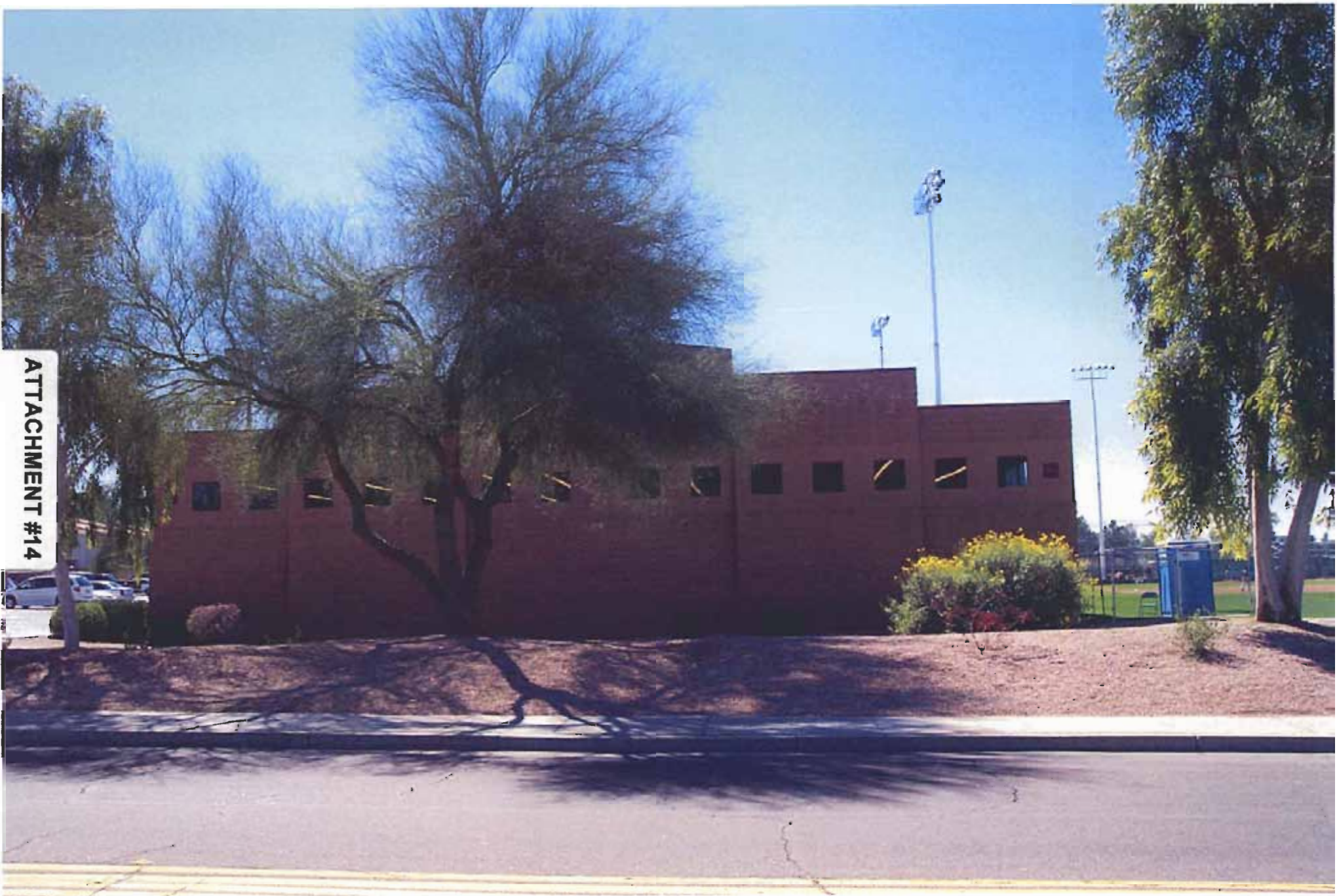
SCOTTSDALE SPRING TRAINING INDIAN SCHOOL PARK UPPER LEVEL FLOOR PLAN



ATTACHMENT #13



ATTACHMENT #14



CLUB SAR EXPANSION
4415 N. HAYDEN RD.

FIRE ORDINANCE REQUIREMENTS

(INCORPORATE INTO BUILDING PLANS AS GENERAL NOTE BLOCK - USE ONLY THE DESIGNATED STIPULATIONS)

- ☒ 1. PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
- ☒ 2. FIRE LANES & EMERGENCY ACCESS SHALL BE PROVIDED & MARKED IN COMPLIANCE WITH CITY ORDINANCE & IFC AT THE FOLLOWING LOCATIONS.

24 FT. FIRE LANE SOUTH FROM CAMELBACK AND THROUGH PARKING LOT AS SHOWN.

- ☒ 3. IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING ADMMENDMENTS ACT & AMERICANS WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.
- ☒ 4. SUBMIT PLANS & SPECS FOR SUPERVISED AUTOMATIC EXTINGUISHING SYSTEM FOR ALL COOKING APPLIANCES, HOOD PLENUMS & EXHAUST DUCTS.
- ☒ 5. PROVIDE A KNOX ACCESS SYSTEM:
 - ☒ A. KNOX BOX
 - ☐ B. PADLOCK
 - ☐ C. KNOX OVERRIDE & PRE-EMPTION STROBE SWITCH FOR AUTOMATIC GATES.
- ☒ 6. INSTALL AN AS BUILT DRAWING CABINET ADJACENT TO THE FIRE SPRINKLER RISER. IT SHALL BE OF ADEQUATE SIZE TO ACCOMMODATE BOTH THE FIRE SPRINKLER & FIRE ALARM DRAWINGS. THE CABINET SHALL BE PROVIDED WITH A LOCK & KEYED TO MATCH THE FIRE ALARM CONTROL PANEL & SUPERVISED BY THE FACP IF APPLICABLE.
- ☒ 7. SUBMIT PLANS FOR A CLASS B FIRE ALARM SYSTEM PER SCOTTSDALE REVISED CODES.
- ☐ 8. PROVIDE INTERIOR TENANT NOTIFICATION WHEN OFF-SITE MONITORING IS REQUIRED.
(SEE FIRE ALARM INTERPRETATIONS FOR CLARIFICATION)
- ☒ 9. ADD 2-1/2" WET FIRE HOSE VALVES (NSHT) IF FLOOR AREA EXCEEDS 10,000 SQ. FT. PER FLOOR LEVEL AND/OR IF FIRE DEPT. ACCESS IS LIMITED TO LESS THAN 360°. _____
- ☒ 10. BUILDINGS MAY BE SUBJECT TO INSTALLATION AND TESTING REQUIREMENTS FOR A PUBLIC SAFETY RADIO AMPLIFICATION SYSTEM.
- ☒ 11. BACKFLOW PREVENTION WILL BE REQUIRED ON VERTICAL RISER FOR CLASS 1 & 2 FIRE SPRINKLER SYSTEMS PER SCOTTSDALE REVISED CODE.
- ☒ 12. PROVIDE ALL WEATHER ACCESS ROAD (MIN. 16') TO ALL BUILDINGS & HYDRANTS FROM PUBLIC WAY DURING CONSTRUCTION.
- ☒ 13. SEE APPROVED CIVILS FOR THE NUMBER OF FIRE HYDRANTS REQUIRED. DEVELOPER SHALL HAVE THE REQUIRED HYDRANTS INSTALLED & OPERABLE PRIOR TO THE FOOTING INSPECTION. HYDRANTS SHALL BE SPACED AT A MAXIMUM OF 700 FT. AT 1500 GPM. THE DEVELOPER SHALL MAKE THE C.O.S. APPROVED CIVIL WATER PLANS AVAILABLE TO THE FIRE SPRINKLER CONTRACTOR.
- ☒ 14. PORTABLE FIRE EXTINGUISHERS SHALL BE INSTALLED. SEE SHEET(S) _____
- ☒ 15. EXIT & EMERGENCY LIGHTING SHALL COMPLY WITH THE C.O.S. ORDINANCE & THE IFC. SEE SHEETS _____
- ☒ 16. SUBMIT MSDS SHEETS & AGGREGATE QUANTITY FOR ALL HAZARDOUS MATERIALS INCLUDING FLAMMABLES, PESTICIDES, HERBICIDES, CORROSIVES, OXIDIZERS, ETC.
A PERMIT IS REQUIRED FOR ANY AMOUNT OF HAZARDOUS MATERIALS STORED, DISPENSED, USED OR HANDLED. COMPLETE AN HMMP & SUBMIT WITH THE BUILDING PLANS.
- ☒ 17. FIRELINE, SPRINKLER & STANDPIPE SYSTEM SHALL BE FLUSHED & PRESSURE TESTED PER NFPA STANDARDS & SCOTTSDALE REVISED CODES.
- ☒ 18. FDC SIAMESE CONNECTIONS FOR SPRINKLERS AND/OR STANDPIPES WILL BE LOCATED PER ORDINANCE AND/OR AT AN APPROVED LOCATION. MINIMUM SIZE 2-1/2 x 2-1/2 x 4" (NSHT)
 - ☒ 4' TO 8' BACK OF CURB; INDEP. WET LINE.
 - ☐ WALL MOUNTED - 15' CLEAR OF OPENINGS.
- ☒ 19. THE FIRE LINE SHALL BE EXTENDED A MAXIMUM OF 3' INTO THE BUILDING WITH A MINIMUM OF 3 FT. CLEARANCE AROUND THE FIRE RISER. EXTERIOR ACCESS REQUIRED.

20. ☒ SPRINKLER SYSTEM SHALL BE INSTALLED TO COMPLY WITH MINIMUM NFPA CRITERIA 2002 EDITION & SCOTTSDALE REVISED CODES. SYSTEMS WITH 100 HEADS OR MORE SHALL HAVE OFF-SITE MONITORING. AFTER BUILDING PLAN REVIEW, INSTALLING CONTRACTOR SHALL SUBMIT (3) THREE COMPLETE SETS OF DRAWINGS & HYDRAULIC CALCULATIONS REVIEWED BY A MINIMUM NICET III DESIGN TECHNICIAN.
- ☐ A. MODIFIED NFPA 13-D SYSTEM WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS (2002 EDITION)
- ☐ B. MODIFIED NFPA 13R SYSTEM (2002 EDITION) WITH RESIDENTIAL QUICK RESPONSE SPRINKLER HEADS IN DWELLING UNITS & ATTIC AREAS FED FROM SEPARATE FIRELINE PER C.O.S. ORDINANCE & INTERPRETATIONS & APPLICATIONS. CALCULATE UP TO FOUR REMOTE HEADS & 900 SQ FT MIN. IN ATTIC.
- ☒ C. NFPA 13 2002 EDITION COMMERCIAL SYSTEM / DESIGN CRITERIA: STG. (ORD. HZ. 2) TRAINING AREAS, MTG. RMS., ETC - (Lt. Haz. Comm.) SEISMIC DESIGN CATEGORY SHALL BE DETERMINED BY STRUCTURAL ENGINEER.
- ☐ D. THE FIRE SPRINKLER SYSTEM DESIGN FOR WAREHOUSE / STORAGE OCCUPANCIES SHALL BE BASED ON THE FULL HEIGHT CAPACITY OF THE BUILDING PER SCOTTSDALE REVISED CODE. DENSITY CRITERIA:
- ☐ E. SPRINKLER DESIGN CRITERIA FOR UNSPECIFIED WAREHOUSE COMMODITIES: .45 OVER 3000 SQ. FT.
- ☒ F. THE PROJECT SPECIFICATIONS SHALL BE SUBMITTED WITH CONTRACT DRAWINGS.
- ☒ G. PROVIDE LOOPED WATER MAINS ON SITE.

Submit three (3) complete sets of drawings submitted by installing contractor, after building plan review is complete. Please refer questions to Fire Dept. Plan Review, 312-7070, 312-7684, 312-7127, 312-2372.

Stipulations for Case: Indian School Park Renovations and Club SAR Expansion Case 5-DR-1977#3

Unless otherwise stated, the applicant agrees to complete all requirements prior to final plan approval, to the satisfaction of Project Coordinator and the Final Plans staff.

PLANNING

APPLICABLE DOCUMENTS AND PLANS:

DRB Stipulations

1. Development Review Board approval shall be valid for 3 years from the time of approval.
2. Except as required by the City Code of Ordinances, Zoning Regulations, Subdivision Regulations, and the other stipulations herein, the site design and construction shall substantially conform to the following documents:
 - a. Architectural elements, including dimensions, materials, form, color, and texture, shall be constructed to be consistent with the building elevations submitted by HOK.
 - b. The location and configuration of all site improvements and landscaping shall be constructed to be consistent with the site plan submitted by HOK.

ARCHITECTURAL DESIGN:

DRB Stipulations

3. The City of Scottsdale's Executive Assistant for Special Projects shall approve any building elevation modifications.
4. All new and proposed building modifications shall be consistent with the colors and materials of the existing building.
5. The face of the new service entrance section(s) shall be flush with the building façade and painted to match the building.
6. All exterior mechanical, utility, and communications equipment shall be screened by parapet or wall that matches the architectural color and finish of the building. Wall or parapet height for roof-mounted units shall meet or exceed the height of the tallest unit. Wall height for ground-mounted units shall be a minimum of 1' higher than the tallest unit.
7. All exterior conduit and raceways shall be painted to match the building.
8. No exterior roof ladders shall be allowed where they are visible to the public or from an off-site location.
9. Roof drainage systems shall be interior, except that overflow scuppers are permitted. If overflow scuppers are provided, they shall be integrated with the architectural design.
10. All wall enclosures for refuse bins or trash compactors shall be constructed of materials that are consistent with the building(s) on the site in terms of color, texture, and material finish.
11. The material and color of field number two's fence shall be constructed to the satisfaction of City of Scottsdale's Executive Assistant for Special Projects.

SITE DESIGN:

DRB Stipulations

12. The City of Scottsdale's Executive Assistant for Special Projects shall approve any site plan modifications.

13. New hardscape shall match existing materials.
14. Chain link fencing utilized adjacent to public activity areas shall be vinyl coated with a color that is dark green to the satisfaction of City of Scottsdale's Executive Assistant for Special Projects..
15. The City of Scottsdale's Executive Assistant for Special Projects shall approve the locations of the vinyl coated chain link.
16. The City of Scottsdale's Executive Assistant for Special Projects shall approve the locations and materials for the parking lot security fencing.

DRB Stipulations

17. The City of Scottsdale's Executive Assistant for Special Projects shall approve any landscape modifications.
18. New plant material shall be consistent with plant material currently utilized on site.

EXTERIOR LIGHTING DESIGN:**DRB Stipulations**

19. All new exterior luminaries, with the exception of the ball fields shall meet all IESNA requirements for full cutoff, and shall be aimed downward and away from property line except for sign and parking lot canopy lighting.
20. The individual luminaire lamp shall not exceed 250 watts except for the ball field fixtures.
21. The maximum height from finished graded to the bottom of the any exterior luminaire shall not exceed 20 feet except for the ball field fixtures.
22. All exterior light poles, pole fixtures, and yokes, and bollards shall be consistent with those existing on site except for the ball field light poles.
23. Incorporate into the project's design, the following:

Parking Lot and Site Lighting:

- a. The maintained average horizontal illuminance level, at grade on the site, not including the ball field area, shall not exceed 2.5 foot-candles.
- b. The maintained maximum horizontal illuminance level, at grade on the site, not including the ball field area, shall not exceed 10 foot-candles. All exterior luminaries shall be included in this calculation.
- c. The initial vertical illuminance at 6.0 foot above grade, along the entire property line, accept adjacent to the ball fields, (or 1 foot outside of any block wall exceeding 5 foot in height) shall not exceed 1.5 foot-candles. All exterior luminaries shall be included in this calculation.

Ball Field Lighting

- d. All ball field lighting levels shall comply with the IESNA requirements for sports fields to the satisfaction of City of Scottsdale's Executive Assistant for Special Projects.
- e. All sports lighting luminaries must possess state-of-the-art glare control components and must meet-or-exceed the standards utilized by the City of Scottsdale to the satisfaction of City of Scottsdale's Executive Assistant for Special Projects.
- f. The sports lighting design and light trespass must meet-or-exceed the standards utilized by the City of Scottsdale to the satisfaction of City of Scottsdale's the Executive Assistant for Special Projects.
- g. All sports lighting must be on a control system that prevents operation of the lights when the fields are not actually in use unless otherwise approved by City of Scottsdale staff.
- h. All poles, luminaries, bases and associated pole-mounted equipment must be finished with a dark Bronze, or flat black color.

- i. The lighting for each field must be operated and be controlled separately.

Building Mounted Lighting:

- j. All luminaries shall be consistent with the existing fixtures

Landscape Lighting

- k. All landscape lighting directed upward shall utilize extension visor shields to limit the view of the lamp source.
- l. Landscaping lighting shall only be utilized to accent plant material.
- m. All landscape lighting directed upward, shall be aimed away from property line.
- n. All landscape lighting hanging in vegetation, shall contain recessed lamps, and be directed downward and away from property line.
- o. The landscape lighting lamp shall not exceed 70 watts.

ADDITIONAL PLANNING ITEMS:

DRB Stipulations

- 24. Bike rack design shall be in conformance with City of Scottsdale M.A.G. Details unless otherwise approved in writing by the City of Scottsdale's Transportation Department.
- 25. Flagpoles, if provided, shall be one piece, conical, and tapered.

RELEVANT CASES:

Ordinance

- A. At the time of review, the applicable zoning, DRB, Use Permit, and etc. case(s) for the subject site were: 5-DR-1977, 5-DR-1977#2, 47-DR-1978, 117-DR-1988, 38-DR-1994, 49-SA-2001, 299-SA-2002, 94-SA-2003.

ENGINEERING

DRAINAGE AND FLOOD CONTROL:

DRB Stipulations

- 26. Demonstrate no net change in hydraulic conveyance capacity of Indian Bend Wash.
- 27. Fencing to pass significant flood events with no reduction in conveyance capacity.
- 28. Site design shall preserve or suitably replace the Salt River Project delivery system.

